

The Harvest Club, LLC
153 Main St., Ste 222
North Reading, MA 01864



The HARVEST Club

TO: Charlotte Leis
City of Somerville
(617)-625-6600

FROM: Chris Vining
The Harvest Club, LLC
153 Main St. Ste 222
North Reading, MA 01864
978-790-4139
chris@theharvestclubs.com

RE: 255 Elm Street Somerville, MA

Dear Charlotte,

The applicant (The Harvest Club) wishes to open a marijuana dispensary at 255 Elm Street in Somerville (The Gorin Building). The proposed cannabis dispensary is intended to utilize the space formerly occupied by Thrive Clothing store. Existing service counters, fitting rooms and back of house elements are to be reconfigured into a multi-purpose space for the Harvest Club. Pedestrians walking by the storefront are greeted with transparent display areas which open into a welcoming lobby space where customers are checked for proper identification before being directed by staff to either enter the dispensary or queue in the waiting area. Depending on volume; customers may be re-directed into two areas dedicated to accommodating potential crowds. The first is an internal lounge space in addition to the waiting area at the front of the dispensary. The second overflow area is a new Community Outreach Center which will provide another place in Davis Square for public meetings to be held while also educating residents and customers about the cannabis industry. Both these spaces alleviate potential crowding and long queuing lines which are often a concern in. The bulk of the dispensary space falls in the showroom

and sales floor area. Here customers will be greeted by staff and assisted depending on their cannabis needs. The rear of the space will be dedicated to operational spaces including but not limited to employee break space, storage, and secure vault space.

Once patrons have completed their shopping, they will exit out the way they entered onto Elm Street. It is important to note that no cannabis products or cannabis related products will be visible to the public. Products purchased at the dispensary cannot be used on site or in public spaces. As part of The Harvest Clubs commitment to the Davis Square community all customers are required to sign documentation stating they will not use the product outside of their home. The Harvest Club also plans on doing daily walks around the square to ensure no litter from products sold are discarded anywhere other than trash cans. The Harvest Club wants to be an asset to this community, not a detriment.

Chris Vining, Managing Member
The Harvest Club

THE HARVEST CLUB

255 Elm Street
Somerville, MA 02144

SUBMISSION TO THE
CITY OF SOMERVILLE
March 3, 2021

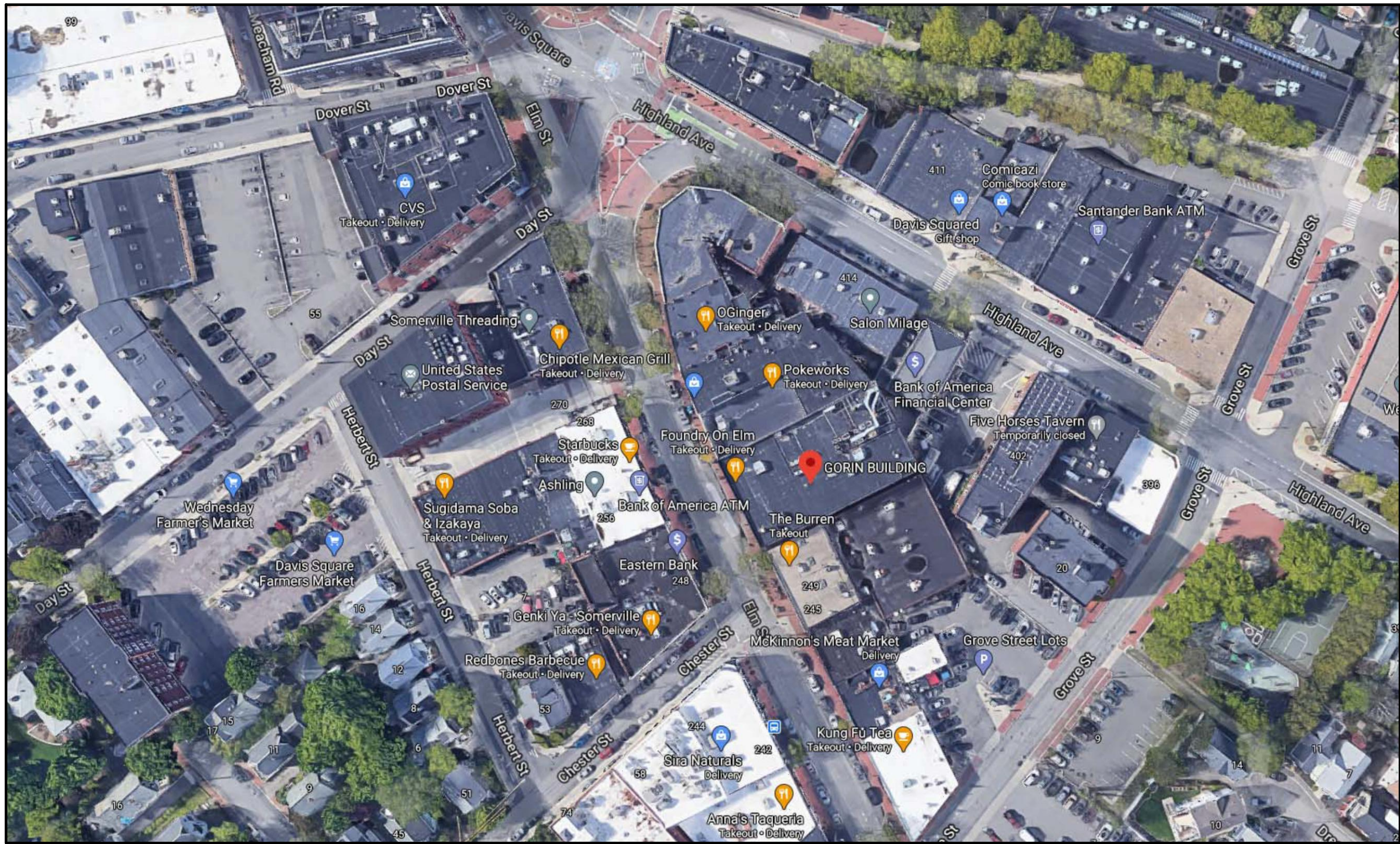


THE HARVEST CLUB
153 Main Street, #222
North Reading, MA 01864
HarvestClub@comcast.net

LINCOLN ARCHITECTS LLC
1 Mount Vernon Street, Suite 203
Winchester, MA 01890
781.721.7721

MC ANDREWS CO., INC.
200 Sutfon Street
North Andover, MA 01845
978.557.7532

LOCUS PLAN



EXISTING BUILDING



PROPOSED CANNABIS



EXIT #01
EGRESS WIDTH:
• REQUIRED EGRESS WIDTH = 4 1/2"
• EGRESS WIDTH PROVIDED = 72"
OCCUPANT LOAD:
• REQUIRED OCC. LOAD = 30
• OCCUPANT CAPACITY = 360

EXIT #02
EGRESS WIDTH:
• REQUIRED EGRESS WIDTH = 4 1/2"
• EGRESS WIDTH PROVIDED = 36"
OCCUPANT LOAD:
• REQUIRED OCC. LOAD = 30
• OCCUPANT CAPACITY = 180

CODE SYMBOL LEGEND

- LIMIT OF BUSINESS USE (PUBLIC ACCESS)
- LIMIT OF BUSINESS USE (NO PUBLIC ACCESS)
- LIMIT OF MERCANTILE USE
- NO WORK IN THIS AREA
- EGRESS PATH TRAVEL & DISTANCE
- 1 HOUR SEPARATION
- 2 HOUR SEPARATION
- FIRE EXTINGUISHERS
- EMERGENCY EXIT SIGNAGE

GOVERNING REGULATIONS

780 CMR 9th Edition (2015 IBC with Massachusetts Amendments)
2015 IEBC - (International Existing Building Code, with Massachusetts Amendments)
2015 IECC - (International Energy Conservation Code, with Massachusetts Amendments)
248 CMR - Massachusetts Uniform State Plumbing Code
521 CMR - Massachusetts Architectural Access Board

CODE SECTION	REGULATION	REQUIRED/ALLOWED	PROVIDED
302.0	USE CLASSIFICATION	-	M , B
303.5	MERCANTILE		CANNABIS DISPENSARY
304.0	BUSINESS (NOT OPEN TO THE PUBLIC)		PROFESSIONAL SERVICES
602.4	TYPE OF CONSTRUCTION	-	TYPE 2B
TABLE 601	FIRE RESISTANCE RATINGS: • PRIMARY STRUCTURAL FRAME • NON-BEARING EXTERIOR WALLS • NON-BEARING INTERIOR WALLS • BEARING WALLS-EXTERIOR • BEARING WALLS-INTERIOR • FLOOR CONSTRUCTION & SECONDARY MEMBERS • ROOF CONSTRUCTION & SECONDARY MEMBERS	0 HRS 0 HRS - SEE TABLE 602 0 HRS 0 HRS 0 HRS 0 HRS 0 HRS 0 HRS	0 HRS 0 HRS 0 HRS 0 HRS 0 HRS 0 HRS 0 HRS
717.1	FIRESTOPPING / DRAFTSTOPPING	YES	YES
803.9	• INTERIOR FINISH AND TRIM • EXIT ENCLOSURES • CORRIDORS • ROOMS & ENCLOSED SPACES	CLASS B CLASS C CLASS C	CLASS A CLASS A CLASS C

CODE SECTION	REGULATION	REQUIRED/ALLOWED	PROVIDED
1004	1st BUSINESS AREA (NOT OPEN TO THE PUBLIC) 2nd BUSINESS AREA (OPEN TO THE PUBLIC) 1st MERCANTILE AREA	(B) 100 GSF/OCCP (B) 100 GSF/OCCP (M) 60 GSF/OCCP	(B) 1431 SF/100GSF = 14.31 = 15 OCCUPANTS (B) 482 SF/100GSF = 4.82 = 5 OCCUPANTS (M) 2603 SF/60GSF = 43.38 = 44 OCCUPANTS
TOTAL OCCUPANT LOAD			64 OCCUPANTS
1005.1	MINIMUM EGRESS WIDTH	64 OCCUPANTS 0.15" REQUIRED @ OTHER THAN STAIRS 0.15 X 64 OCC. = 9.6"	108" PROVIDED
1020.4	DEAD ENDS	50" OR 2.5x THE LEAST WIDTH	N/A

**IEBC 2015
INTERNATIONAL EXISTING BUILDING CODE**

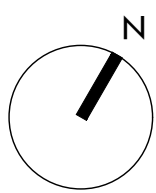
CHAPTER 5 CLASSIFICATION OF WORK
SECTION 504 ALTERATION—LEVEL 2
504.1 Scope. Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.
504.2 Application. Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter 8.

CHAPTER 8 ALTERATION - LEVEL 2
SECTION 801 GENERAL
801.3 Compliance. All new construction elements, components, systems, and spaces shall comply with the requirements of the International Building Code.
Exceptions:
1. Windows may be added without requiring compliance with the light and ventilation requirements of the International Building Code.
2. Newly installed electrical equipment shall comply with the requirements of Section 808.
3. The length of dead-end corridors in newly constructed spaces shall only be required to comply with the provisions of Section 805.6.
4. The minimum ceiling height of the newly created habitable and occupiable spaces and corridors shall be 7 feet (2134 mm).

SECTION 803 BUILDING ELEMENTS AND MATERIALS
803.1 Scope. The requirements of this section are limited to work areas in which Level 2 alterations are being performed and shall apply beyond the work area where specified.

Revisions MARCH 3 2021 - CITY OF SOMERVILLE SUBMISSION

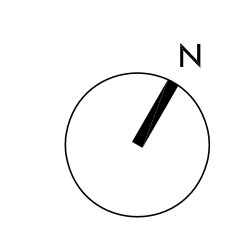
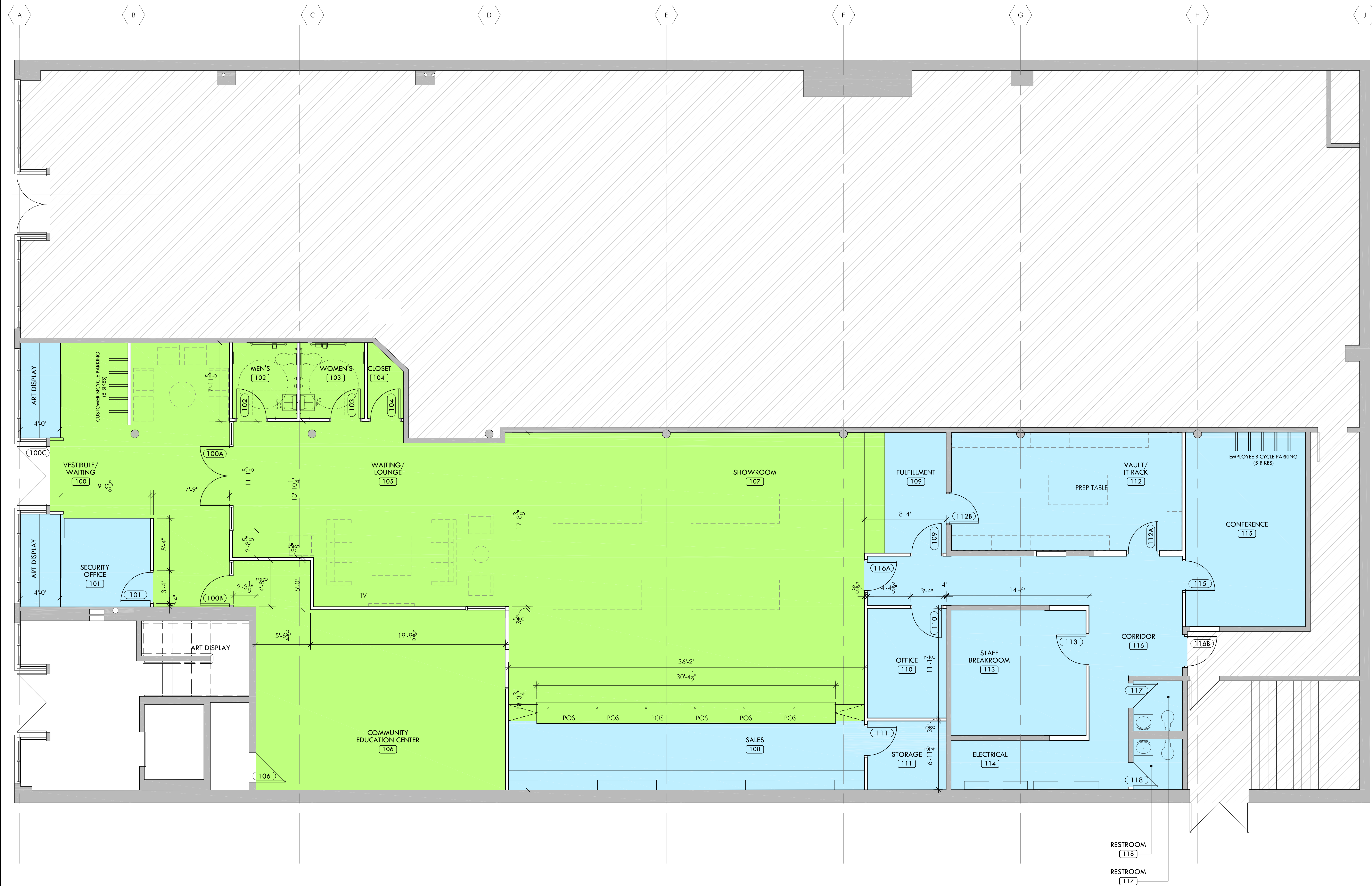
THE HARVEST CLUB
255 Elm Street
Somerville, MA 02144



FIRST FLOOR CODE REVIEW

Project Number
2019.071
Drawing Scale
3/16" = 1'-0"
Drawn By
RMV
Checked By
DRQ
Date Issued
06/06/19

CR1.1

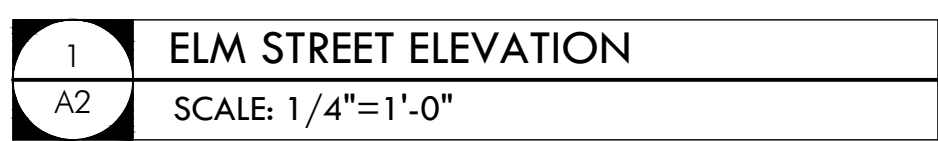


1
A1.1 **OVERALL FLOOR PLAN**
SCALE: 1/4" = 1'-0"

LEGEND

- NO WORK IN THIS AREA
- SALES FLOOR (PUBLIC)
- EMPLOYEE SPACE (BACK OF HOUSE)

OVERALL FLOOR PLAN
ENLARGED RESTROOM PLAN



THE HARVEST CLUB
255 Elm Street
Somerville, MA 02144

EXTERIOR ELEVATION

Project Number
2019.071

Drawing Scale
3/16" = 1'-0"

Drawn By
RMY

Checked By
DRQ

Date Issued
06/06/19

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Somerville, MA 02144

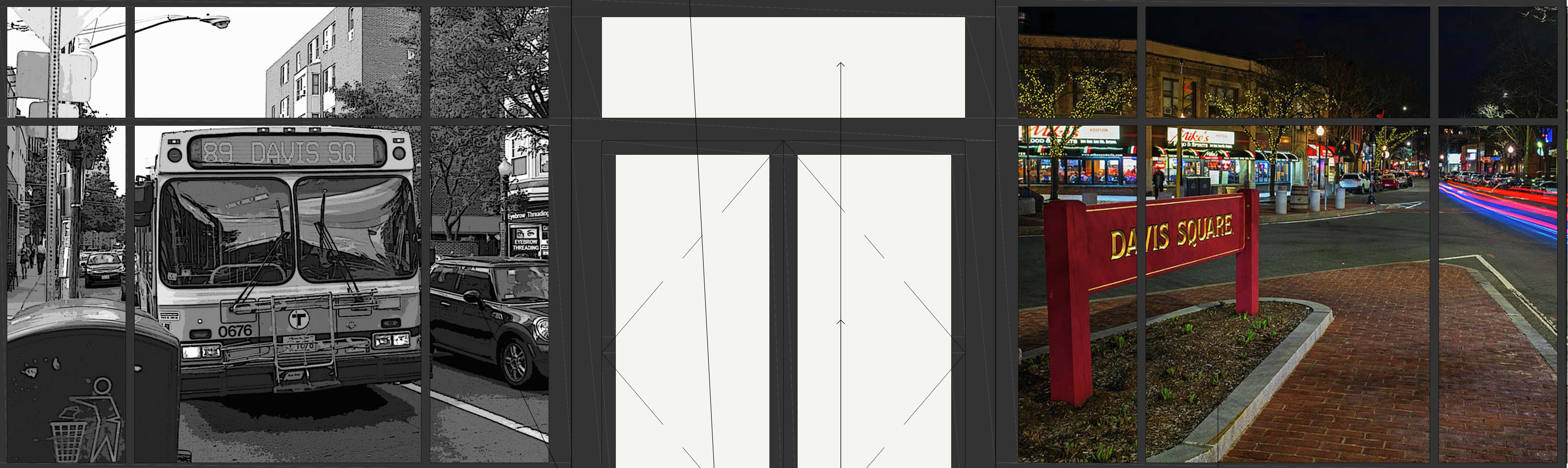
ENLARGED ELEVATION

Project Number
2019.071
Drawing Scale
3/16" = 1'-0"
Drawn By
RMV
Checked By
DRQ
Date Issued
06/06/19

A4.2



HARVEST Club



FROSTED WINDOW TINT
ILLUMINATED SIGNAGE
ROTATING LOCAL ART DISPLAY @ STOREFRONT

PROPOSED DISPENSARY

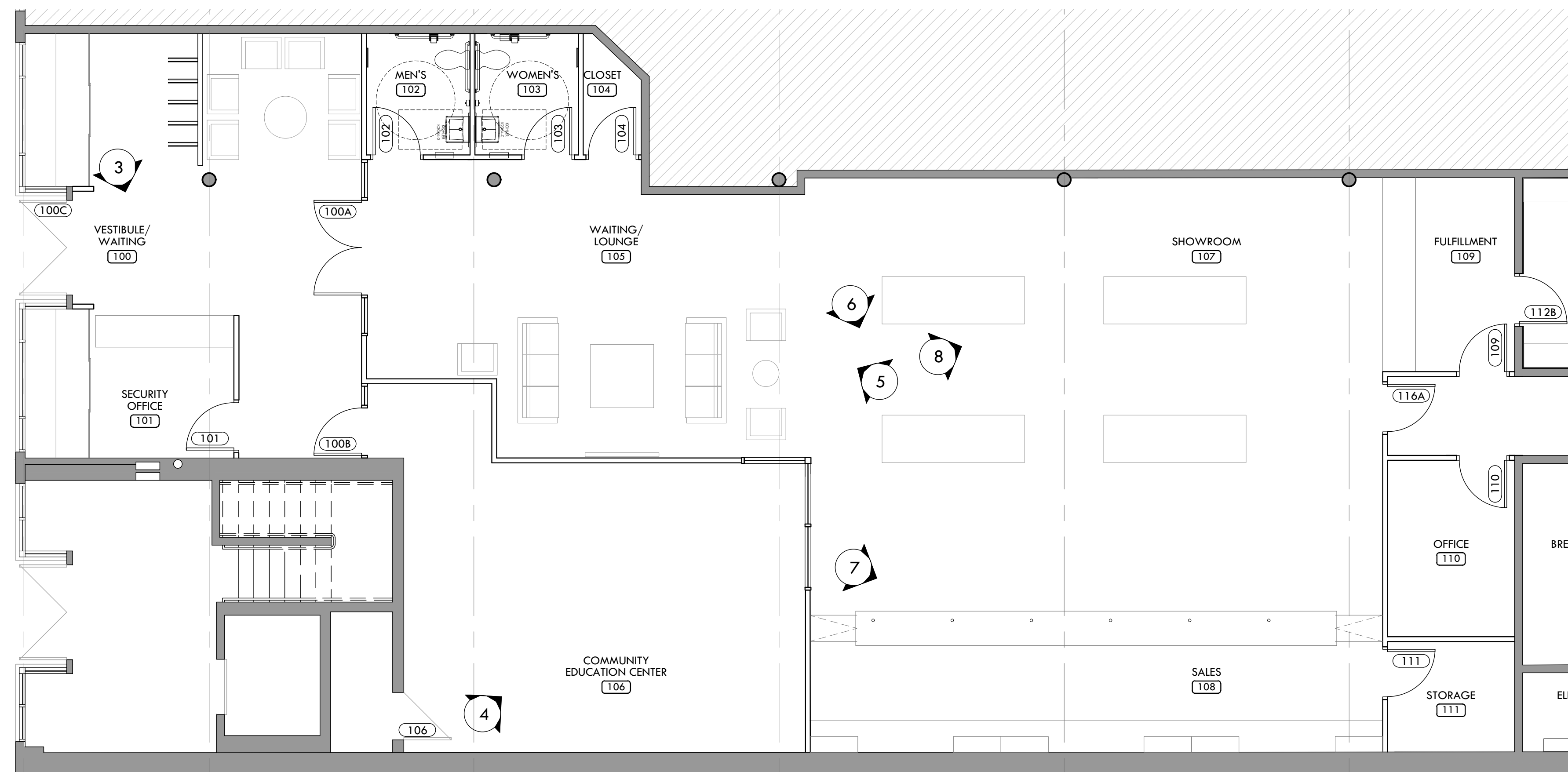
1 ENLARGED SIGNAGE ELEVATION
SCALE: 1" = 1'-0"

SIGN:	PERMITTED SIZES	PROVIDED SIZES
AREA (MAX.)	40 FT ²	40 FT ²
HEIGHT (MIN./MAX.)	1' / 4'	3'
WIDTH (MAX.)	90% OF FACADE WIDTH	13'-4" (48%)
LETTERING:		
WIDTH (MAX.)	75% OF SIGN WIDTH	11'2" (70%)
HEIGHT (MAX.)	75% OF SIGN HEIGHT	1'4" (39%)
PROJECTION FROM FACADE (MAX.)	6"	8"
RACEWAY HEIGHT (MAX.)	N/A	N/A
LOCATION:		
NUMBER OF SIGNS	1 PER TENANT	1



2 PROPOSED LOCATION
SCALE: N.T.S.

Consultants



1 KEY PLAN
A9.1 SCALE: 3/16" = 1'-0"



2 AXON
A9.1 SCALE: N.T.S.



3 ENTRY
A9.1 SCALE: N.T.S.



4 COMMUNITY EDUCATION
A9.1 SCALE: N.T.S.



5 WAITING LOUNGE
A9.1 SCALE: N.T.S.



6 SALES FLOOR
A9.1 SCALE: N.T.S.



7 SALES COUNTER
A9.1 SCALE: N.T.S.



8 CHECKOUT
A9.1 SCALE: N.T.S.

Revisions MARCH 3 2021 - CITY OF SOMERVILLE SUBMISSION

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Somerville, MA 02144

INTERIOR PERSPECTIVE VIEWS

Project Number
2019.071
Drawing Scale
AS NOTED
Drawn By
RMV
Checked By
DRQ
Date Issued
06/06/19

A9.1

The Harvest Club, LLC
153 Main St., Ste 222
North Reading, MA 01864



The HARVEST Club

Date: January 7, 2021

Project: 255 Elm Street
Neighborhood Meeting

Attendees: Lance Davis, Ward 6 Councilor
Charlotte Leis, Planning Board Liaison (Moderator)
Christopher Vining, The Harvest Club
Alexander Coon, The Harvest Club
Anne Vigtorito, Attorney for The Harvest Club
Andrew Matses, President, MC Andrews Construction
Paul Verruto, Wayne Alarm
Daniel Quaile, Lincoln Architects
Stephen Siragusa, Design Consultants, Inc

Recorded by: Julie Kron, Resident

Distribution: Planning Board, Somerville M.A.C

These meeting minutes are assumed to be an inclusive account of the items discussed, suggestions given, and the conclusions drawn per the neighborhood meeting for the proposed development.

Item Number	Community Comment/Suggestion	Action
1	<p>Rp Thompson, Resident</p> <p>Do you feel that having two dispensaries within a block is overkill?</p>	<p>We do not. Sira and The Harvest Club are different. We do not see them as competition but really part of the cannabis community. The number of cannabis licenses is related to the number of liquor licenses so the city would not give more licenses.</p>
2	<p>Eric Schwartz, resident</p> <p>The Social Equity program seems to be geared towards people who do not seem to be <i>most</i> impacted by the war on drugs. What are your thoughts about this?</p>	<p>You are right that the Social Equity program is failing in some ways. What we're seeking to do is be a bridge in some ways between the Social Equity program to people who actually have been impacted by the war on drugs. We would love to bring in people for employment who have been directly impacted by the war on drugs. We need to get the word out that there are good jobs in this industry.</p>
3	<p>Eric Schwartz, resident</p> <p>Would you ever consider this business to become a co-op?</p>	<p>Moderator requested that we table this topic as it is not related to the Special Use Permit at 255 Elm Street</p>
4	<p>Derrick Rice, Resident</p> <p>The community room is super exciting. Great to hear it could be used in a variety of ways. Would it be able to be used only during operating hours?</p>	<p>Unfortunately due to regulations we can only have the community room open during operating hours. The Community Room is really an extension of the Sales Floor.</p>

4 - Continued		<p>We need to make sure we are doing things in the right ways and the room is used in the right ways so to make sure they are in compliance.</p>
5	<p>Ward 6 Councilor, Lance Davis</p> <p>A challenge in Davis is to keep the street a well-functioning and vibrant pedestrian space. He has had concerns in the past with the medical facility because it was not open to the public. This is different and is totally open to the public which is great and the hours allow for maybe after work. The thing that worries me a little bit is the art displayed in the windows – he feels that is a dead block and not a good use of a block. Any opportunity to provide public art space he likes but he worries about a prime space in that stretch that feels closed to the public. He really looks forward to others' input on that.</p>	<p>Windows will likely be done first and we will have the opportunity to try a few different things. If a change is needed, they are happy to try something different.</p> <p>Due to regulations we cannot have any cannabis visible. CVS is a big company who probably doesn't have the bandwidth to put forth good oversight into what art is posted. You are looking at the two guys who will be overseeing this and we want to make sure it looks nice and is not a detriment to the area.</p>
6	<p>Multiple Davis Square Residents</p> <p>How will you address homelessness in Davis Square?</p>	<p>Our intention is to support various Somerville organizations. As we also want to address homeless throughout Somerville, our company will support groups that can assist in the mitigation of homelessness throughout the city.</p>